



# Chippewa County Building Department Construction Code Enforcing Agent

319 Court Street – Sault Ste. Marie, MI 49783  
Phone: (906) 635-6362 – [www.chippewacountymi.gov](http://www.chippewacountymi.gov) – Fax: 906-635-6867

## Building Permit Application

### JOB SITE LOCATION

Address		Street Name	City	Township
Property Tax ID Number	Section	Township	Range	

### TYPE OF IMPROVEMENT

- |   |   |
|---|---|
| <input type="checkbox"/> New Building                           | <input type="checkbox"/> Change in Use      |
| <input type="checkbox"/> Addition                               | <input type="checkbox"/> Re-roof            |
| <input type="checkbox"/> Alteration/Demolition– Est. Cost _____ | <input type="checkbox"/> Special Inspection |
| <input type="checkbox"/> Repair, Replacement                    | <input type="checkbox"/> Foundation         |

### OFFICE USE ONLY



### OWNERSHIP

- Private (Individual, corporation, non profit institution, etc.)       Public (Federal, State, or Local Government)

### IDENTIFICATION – TO BE COMPLETED BY ALL APPLICANTS

#### **OWNER:**

First Name	Last Name
Address	Telephone Number

#### **CONTRACTOR:**

First Name	Last Name
Address	Telephone Number
Builders License Number	Expiration Date

#### **ARCHITECT OR ENGINEER:**

First Name	Last Name
Address	Telephone Number

*Applicant is responsible for the payment of all fees & charges applicable to this application and must provide the following information. I hereby certify that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his/her authorized agent and I agree to conform to all applicable laws of the State of Michigan. All information submitted on this application is accurate to the best of my knowledge.*

*Section 23a of the state construction code act of 1972, 1972 PA230, MCL 125.1523A, prohibits a person from conspiring to circumvent the licensing require of this state relating to persons who are to perform work on a residential building or a residential structure. Violators of Section 23a are subject to civil fines*

Signature of Owner	Application Date
Signature of Contractor	Application Date
Signature of Architect or Engineer	Application Date

Permit Number: \_\_\_\_\_

Name: \_\_\_\_\_

**BUILDING USE**

**Residential Uses**

- Single Family - # of Bedrooms: \_\_\_\_\_  
# of Stories: \_\_\_\_\_
- HUD Residence
- Two or More Family - # of Units: \_\_\_\_\_
- Other – Specify: \_\_\_\_\_
- Transit hotel, motel, or dormitory # of Units \_\_\_\_\_
- State Approved Modular
- Garage, Accessory Building, Pole Building, Carport

**Non-Residential or Commercial Use**

- Assembly, Restaurant, etc.
- Business, Office, etc.
- Church, Religious, etc.
- Educational, School, etc.
- Factory, Industrial, etc.
- Other: \_\_\_\_\_
- Hazardous Materials
- Hotel, Motel, etc.- # Rooms \_\_\_\_\_
- Institutional, Hospital, Jail, etc.
- Mercantile, Store, Retail, etc.
- Multi-Family - # Dwellings: \_\_\_\_\_
- Parking or Service Garage
- Storage, Warehouse, etc.
- Tower, Bridge, Barn etc.
- Agricultural: \_\_\_\_\_
- Public Utility

Describe Use(s):

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

**SELECTED CHARACTERISTICS OF THE BUILDING**

**Principal Type of Frame**

- Wood Frame  Masonry  Concrete  Steel Frame  Other: \_\_\_\_\_

**Principal Type of Heating Fuel**

- LP Gas  Natural Gas  Fuel Oil  Electricity  Wood/Coal  Other: \_\_\_\_\_

**Type of Sewage Disposal**

- Public Sewer System  Private Community System  Private Septic System

**Types of Water Supply**

- Public Water Supply  Private Community System  Private or Shared Well

**Type of Mechanical**

Will there be central air conditioning?  Yes  No      Will there be an elevator?  Yes  No

**Building Dimensions and Other Selected Data**

- Building Width (ft): \_\_\_\_\_
- Building Height (ft): \_\_\_\_\_
- Building Length (ft): \_\_\_\_\_
- Total Square Feet: \_\_\_\_\_
- Number of Stories: \_\_\_\_\_
- Slab on Grade
- Partial Basement
- Crawl Space
- Full Basement

**NUMBER OF OFF-STREET  
PARKING SPACES**

- Enclosed
- Outdoors

**RESIDENTIAL BUILDINGS ONLY**

- Number of Bedrooms \_\_\_\_\_
- Number of Bathrooms \_\_\_\_\_

**LOCAL GOVERNMENT AGENCY TO COMPLETE THIS SECTION**  
**Environmental Control Approvals**

	Required	Not Required	Approved	Date Obtained	Number	By:
1- Zoning						
2- ACT 451, Part 91						
3- Flood Zone						
4- Health Department						

**OFFICE USE ONLY**

**A: Administration:**

Administration Fee	\$55.00
--------------------	---------

**B: Permit Fee (\$52.00 Min)**

Residential .19/sq ft	.19 X _____	=	\$ _____
Mobile Homes	\$57.05	=	\$ _____
Modular	\$104.00	=	\$ _____
Basement .10/ sq ft	.10 X _____	=	\$ _____
Garage .11/ sq ft	.11 X _____	=	\$ _____
Towers/FO	\$104.00	=	\$ _____
<b>Total</b>			<b>\$ _____</b>

**C: Permit Value**

House	_____ sq ft X \$76.46 = \$ _____	X .0011 = \$ _____	= \$ _____
Basement	_____ sq ft X \$15.30 = \$ _____	X .0011 = \$ _____	= \$ _____
Garage	_____ sq ft X \$29.70 = \$ _____	X .0019 = \$ _____	= \$ _____
<b>Value Total</b>	<b>\$ _____</b>	<b>Total</b>	<b>\$ _____</b>

**Grand Total (A+B+C)**      **\$ \_\_\_\_\_**

**VALIDATION – OFFICE USE ONLY**

Building Permit Number: _____	Certificate of Occupancy Issued: _____
Building Permit Issued: _____	Approved By: _____
Building Permit Fee: \$ _____	Title: _____

**STATE PERMITS**

Electrical, Plumbing, and Mechanical permits are done by the state.

Please visit [www.michigan.gov/bcc](http://www.michigan.gov/bcc)

**Chippewa County Building Department**

Building Inspector: Jay Predmore

Office Phone: 906-635-6362

Cell Phone: 906-630-0298

# Chippewa County

## Planning, Zoning, & Construction Resources

319 Court Street – Sault Ste. Marie, MI 49783

Phone: (906) 635-6362 – [www.chippewacountymi.gov](http://www.chippewacountymi.gov) – Fax: 906-635-6867

### **REQUIRED SUBMITTALS WITH YOUR BUILDING PERMIT APPLICATION**

The following information is provided as guide, listing the required documents to be submitted with your Building Permit Application. All sections of the Building Permit Application applicable to your project must be completed. Incomplete applications will be returned to the applicant for completion and re-submittal.

#### Page 1:

- Job Site Location
- Identification/ Sign and date application
- Type of Improvement – Please remember to include the Alteration Estimated Cost figure on the line provided.

#### Page 2:

- Building Use
- Selected Characteristics of Building

#### Residential Structures:

*(One and Two-family dwellings with less than 3,500 square feet of calculated floor area and accessory)*

- Completed Building Permit Application *(Complete all sections of the application applicable to the project)*
- If the project is an alteration of an existing building – remember to include the Alteration Estimated Cost figure on the line provided in the box labeled: “Type of Improvement”
- Copies of all other applicable permits including: zoning, flood plain zone elevation (if required), drive, septic, well, soil erosion, wetlands, critical dunes, or high risk erosion permits
- One set of plans that include the following:
  - Site plan, foundation plan, floor plans
  - Building and wall sections
  - Building elevations
- Dwellings over 3,500 square feet of calculated floor area require sealed plans
- Accessory buildings over 12 feet in wall height, 3,000 sq. ft. of floor area, or building width over 40’ & building length over 50’ require sealed plans.

#### HUD Residences and State Approved Modular Residences:

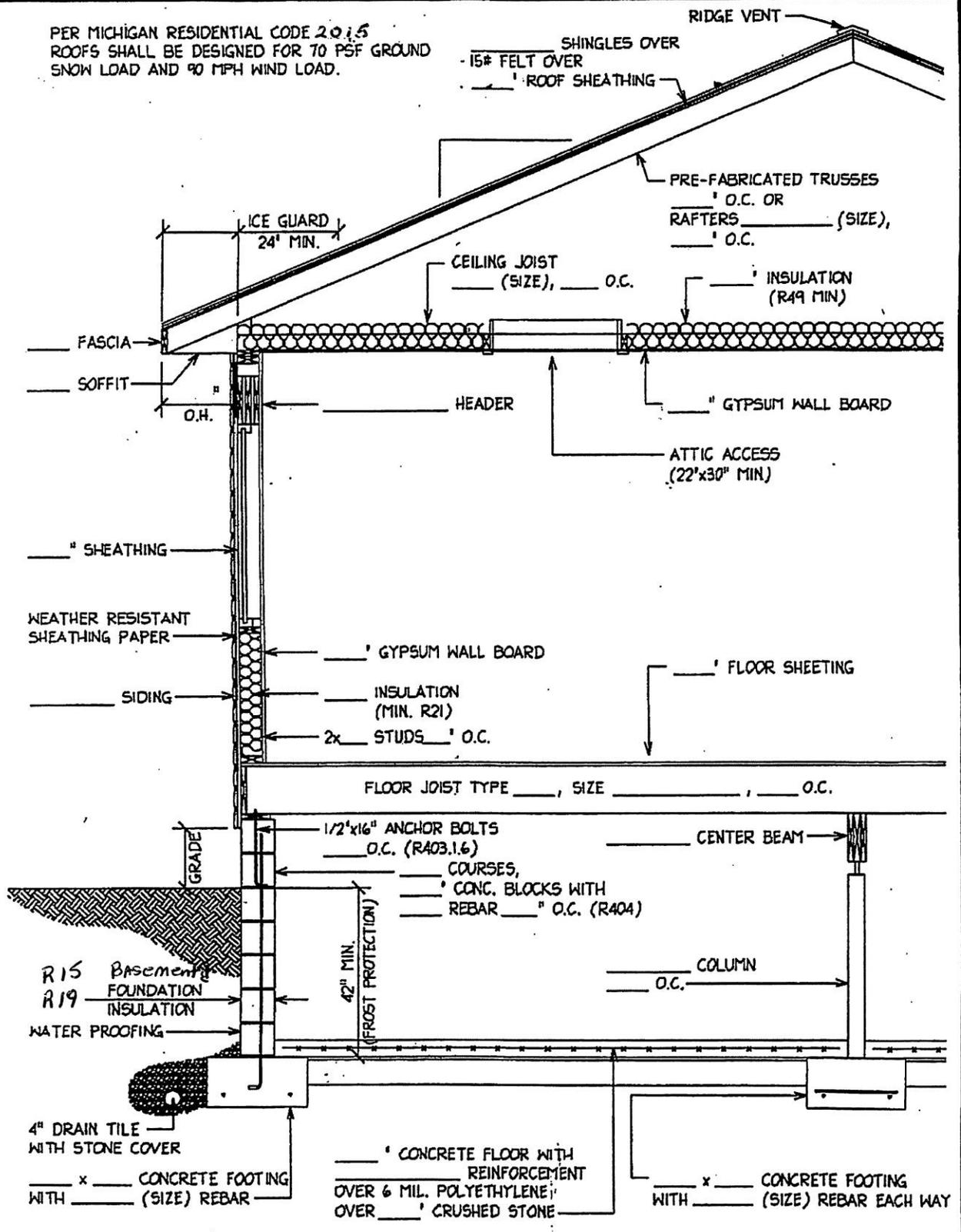
- Completed Building Permit Application *(Complete all sections of the application applicable to the project)*
- If the project is an alteration of an existing building – remember to include the Alteration Estimated Cost figure on the line provided in the box labeled: “Type of Improvement”
- Copies of all other applicable permits including: zoning, flood plain zone elevation, drive, septic, well, soil erosion, wetlands, critical dunes, or high risk erosion permits
- One set of plans showing the site plan, the foundation, and the method of anchoring the unit to the foundation.
- For state approved Modular residences, the Building Systems Approval Report together with the approved plans.

#### Commercial Structures:

*(Including one and two-family dwellings with more than 3,500 square feet of calculated floor area)*

- Completed Building Permit Application *(Complete all sections of the application applicable to the project)*
- If the project is an alteration of an existing building – remember to include the Alteration Estimated Cost figure on the line provided in the box labeled: “Type of Improvement”
- Copies of all other applicable permits including zoning, flood plain zone drive, septic, well, soil erosion, wetlands, critical dunes, or high risk erosion permits
- Two set of plans and specifications with original signature and seal of an architect or professional engineer registered in the State of Michigan.

PER MICHIGAN RESIDENTIAL CODE 2015  
 ROOFS SHALL BE DESIGNED FOR 70 PSF GROUND  
 SNOW LOAD AND 90 MPH WIND LOAD.



PROJECT:

CROSS-SECTION

DATE:

SHEET OF

JOB NO:

**CHECK LIST TO OBTAIN A  
CHIPPEWA COUNTY BUILDING PERMIT**



- |  |   |   |  |
|--|---|---|--|
|  | <b>1. ADDRESSES</b>   | Equalization Department (906) 635-6304<br>319 Court Street<br>Sault Ste. Marie, MI 49783 (906) 635-6372 Fax   |  |
|  | <b>2. TOWNSHIPS WITH ZONING</b>   |   |  |
|  | • <b>Bay Mills</b>  | Joe VanDosen (906) 437-5308 or (906) 440-1642   |  |
|  | • <b>Bruce</b>  | Michael Pins (906) 635-3058   |  |
|  | • <b>Dafter</b>   | Robert Brown (906) 630-5363   |  |
|  | • <b>Detour</b>   | Office (906) 297-5471   |  |
|  | • <b>Kinross</b>  | Township Office (906) 495-5381  |  |
|  | • <b>Pickford</b>   | Frank Sims (906) 647-3361   |  |
|  | • <b>Raber</b>  | Office (906) 297-3805   |  |
|  | • <b>Rudyard</b>  | Township Office (906) 478-5041  |  |
|  | • <b>Soo</b>  | Jim Callon (906) 635-0129 or (906) 203-7346   |  |
|  | • <b>Sugar Island</b>   | Burt Menard (906) 635-5105  |  |
|  | • <b>Superior</b>   | Bill Beaune (906) 248-5213  |  |
|  | • <b>Whitefish</b>  | Bill Mangham (906) 492-3779   |  |
|  | <b>3. WELL &amp; SEPTIC</b>   | Chippewa County Health Department (906) 635-3620<br>508 Ashmun Street<br>Sault Ste. Marie, MI 49783   |  |
|  | <b>4. WETLANDS</b>  | <b>DEQ</b> Helana Nelson (906)202-1507  |  |
|  | <b>5. HIGH RISK EROSION AREA</b>  |   |  |
|  | <b>6. Erosion Control Permit Required When Disturbing More Than an Acre of Property Or Within 500 Feet of Lake, River or Natural Waterway</b> | Soil & Sedimentation Control<br>2847 Ashmun Street<br>Sault Ste. Marie, MI 49783  |  |
|  |   | Contact Kristina Denison (906) 635-1278<br>Information available on line at <a href="http://www.clmcd.org/soilerosion.asp">www.clmcd.org/soilerosion.asp</a>                          |  |
|  | <b>7. Docks &amp; Dredging (if necessary)</b>   | Corp of Engineers (906) 632-3311<br>Ed Arthur (906) 635-3461 Sue Bright (906) 635-3462 (906) 635-3463   |  |
|  | <b>8. Culverts</b>  | Chippewa County Road Commission (906) 635-5295<br>3949 S. Mackinac Trail<br>Sault Ste. Marie, MI 49783  |  |
|  | <b>9. Construction Permit For All of Chippewa County</b>  | Building Inspectors Office (906) 635-6362<br>319 Court Street<br>Sault Ste. Marie, MI 49783 Jay Cell (906) 630-0298   |  |
|  | <b>10. Flood Plain</b>  | Linda D. Hansen, PE, PWS. (906)353-7522<br>DEQ Water Resources Division<br>427 US Highway 41N<br>Baraga, MI 49908<br><a href="mailto:hansenl6@michigan.gov">hansenl6@michigan.gov</a> |  |
|  | <b>11. STATE OF MICHIGAN PERMITS</b>  | <b>State Inspectors</b>   |  |
|  | Electrical Inspection   | Ben Bourque (906) 241-3424  |  |
|  | Electrical for Detour   | Fred Bryner (906) 484-4554  |  |
|  | Plumbing Inspection   | Craig Cole (906) 235-8417   |  |
|  | Mechanical Inspection   | Matt Gay (906) 241-0730   |  |
|  | <b>STATE PERMITS ONLINE AT <a href="http://www.michigan.gov/bcc">www.michigan.gov/bcc</a></b>   |   |  |

