



**Landmark Design Group, P.C.**

3900 Linden Ave., SE, Suite C, Grand Rapids, MI 49548, 616-956-0606

**DATE:** April 24, 2012

**TO:** All Plan Holders

**FROM:** Landmark Design Group, P.C.  
3900 Linden Ave. SE, Suite C  
Grand Rapids, Michigan 49548-3406

**PROJECT:** Chippewa County – City/County Building Renovation

**PROJECT NO.:** 10-007

**COPY TO:** Jim German, Morgan Landon, Ralph DenHartigh, Jason Shingledecker, Jon Zander,  
Stan Kaczmarek

---

### **ADDENDUM ONE**

The following are changes, clarifications, and additions made to the Drawings and Project Manual/Specifications prior to receipt of bids. All of these items shall be considered part of the Contract Documents. Acknowledge receipt of this Addendum in the space provided on the Bid Form.

The general character of the work required by this Addendum shall be the same as originally specified, and all incidentals required in connection with the work hereinafter described shall be included even though not specifically mentioned. The Contractor shall be held responsible to include and adjust the work of all trades involved as required to complete the work described hereinafter. All bidders shall review the Addendum as it alters the work shown on the Drawings and in the Project Manual/Specifications.

All applicable provisions of General and Supplementary Conditions, instructions to bidders and all other contract documents apply to this Addendum.

This Addendum consists of four (4) pages, two (2) attached drawings.

#### **CHANGES TO THE PROJECT MANUAL PART 1:**

1. Bid Package 06000
  - a Add Specification Section 07700 – Roof Specialties and Accessories.
  - b Scope of included work: Add item 26: furnish and install ¾” plywood in data closets
  - c Scope of included work: Add item 27: furnish and install precast concrete parking bumpers.
  - d Remove Item 1 under excluded work.
2. Bid Package 07500 – Membrane Roofing
  - a Remove reference to Coal Storage Room in Item 1 of work included.
3. Bid Package 09500 – Acoustic Ceilings
  - a Remove areas of existing plaster ceilings and framing to allow support of new acoustic ceilings.
4. Bid Package 09600 – Flooring
  - a Floor preparation is required to ensure required bond for new flooring systems.

#### **CHANGES TO SPECIFICATIONS:**

1. Sheet Index.
  - a Add Section 07700
  - b Delete Section 26 41 00
2. Section 02070 – Selective Demolition
  - a Delete paragraph 02070.1.01.A
3. Section 033300 – Cast-In-Place Concrete
  - b Delete Paragraph 033300.1.4.C – Concrete Testing Service

4. Section 042200 – Concrete Unit Masonry
  - a Revise 042200.1.3.A – Preconstruction Testing to be performed by the Design Builder, Gundlach Champion, Inc.
5. Section 09300, 09650 and 09680
  - a Where floor leveling is required, install “Level-Right” self leveling floor leveler as manufactured by Maxxon, Inc. or equal, per manufacturers requirements.
6. Section 26 00 50 – General Requirements for Electrical Systems
  - a Delete 26 00 50.1.10.A – Temporary Power
7. Division 28 – Security Systems General Clarifications
  - a Panasonic and other “brand name” manufacturers are acceptable providers for the various components of this system. Storage requirements are 30 days, 800x600 resolution, 7 frames/second, 20% motion capture. Provide a second PC system to communicate via the internet with the controller for this system. Locate this PC at the County 911. Activation of any dress button shall cause an audible alarm at this location and shall display the location of the alarm on the screen. The main system PC located in the County Office building shall also automatically send e-mail notification to (4) addresses (to be determined) with the same duress alarm information. Where card access is shown on only one side of a door provide motion detection on the other side of the door to allow exiting without alarm.

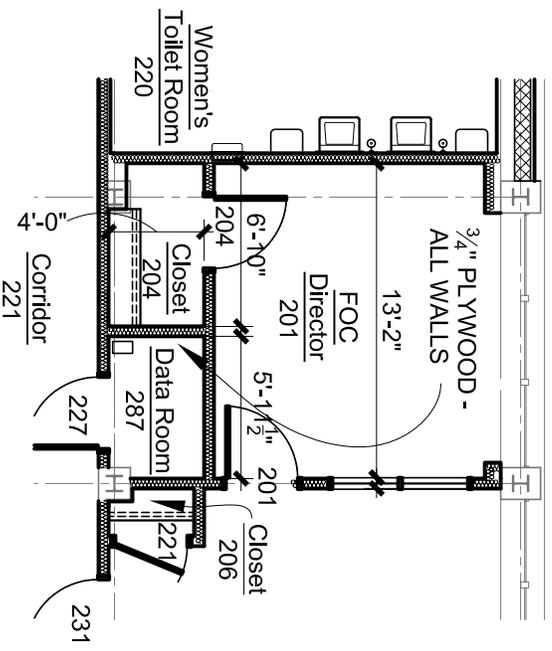
**CHANGES TO DRAWINGS:**

1. Drawing A101
  - a In Breakroom 119, remove existing vinyl asbestos tile, ready to receive new VCT flooring.
2. Drawing A102
  - a Delete removal of tile flooring. Existing drains shall be capped and floor leveler applied to existing floor tile, ready for new finishes.
3. Drawing A103
  - a General Note 16 – Remove existing Courtroom seating and return to owner.
  - b In the jail area, delete reference to note 16.
4. Drawing A104
  - a Existing window wells west of Men’s Locker Room 139, shall be filled with clean fill and 4” of topsoil.
5. Drawing A105
  - a Delete gypsum board enclosures at rooms 251, 252, and 259.
  - b Revise Data Room 287 per attached Drawing A1-A105-01 (4'-0" wide)
  - c Add Server Room 284 and door 245 per attached Drawing A1-A105-01. Door 254 is:  
3'-0" x 7'-0" x 1 ¾" flush wood, in hollow metal frame with the following hardware:  
3 ea. hinges: TA2714 4 ½ x 4 ½ US26D - McKinney  
1 ea. Lockset: Storeroom Lockset: ML2057 – Corbin Russwin  
1 ea. Wall Stop: 400 US26D – Rockwood
6. Drawing A106
  - a Revise Data Room 335 per attached Drawing A1-A106-01.
  - b At the south end of Corridor 304, the drawing shows a fire extinguisher cabinet. It shall be labeled F.E.C.
7. Drawing A201
  - a Chimney removal – Salvage stone veneer to repair cracks in the existing boiler room exterior walls.
8. Drawing A401
  - a Courtroom section at the reporter area is 05/A411, not 07/A411.
9. Drawing I101
  - a Add VCT floor in room 119. Room 119 is Breakroom, not Storage.
10. Drawing I102
  - a Revise flooring in rooms 205, 243 and 262 to VCT.
11. Drawing I103
  - a Revise flooring in rooms 307 and 320 to VCT.
12. Drawing P101 Plumbing First Floor Plan
  - a At Men’s 219 and Women’s 220: Add a trap primer at one lavatory, Run 3/8" line to floor drain. All chrome plated where exposed to view.

13. Drawing M101, HVAC Piping First Floor Plan
  - a Refer to Information Services 274: Add AC-274D on the North wall near the West end of the room (move AC-274B toward the East). Also, add CU-274D near CU-279. Nominal 2 ton cooling capacity system, low ambient operation to provide cooling at all times.
14. Drawing M200
  - a Delete 200 cfm return shown in storage 108.
15. Drawing ME203, Mechanical and Electrical Schedules
  - a Refer to the Miscellaneous Equipment Schedule, Clarification: All new AC / CU systems shall operate through the winter. Provide low ambient operation, crankcase heater, etc.
  - b Provide new GFCI, weather proof receptacles as follows: 1) Near relocated RTU on 1<sup>st</sup> floor roof at North end of building; 2) Near RTU-301; 3) Near Cu-221; 4) Near RTU-313; 5) Near RTU-321; 6) Near Cu-304B; 7) Near ERU-401.
16. Drawing E100, Electrical Power Basement Floor Plan
  - a Refer to Vault 118: Where the (2) 4" sleeves come through the floor above from the data closet, provide an 18x18x6 junction box to conceal data wiring. From this junction box run (2) 4" conduit to Storage 120 for Owner's use.
  - b Keyed Note #1 – Electric hand dryers are specified in section 10800 and furnished and installed by Bid package 06000 – General Trades. Electrical Contractor shall provide power and connections.
17. Drawing E101, Electrical Power First Floor Plan
  - a Add a floor box at Conference 213, (2) duplex power receptacles, (2) data receptacles.
  - b At Data Room 287: Add (2) 4" sleeves through the first floor and (2) 4" sleeves through the second floor for data wiring access between floors and connect each power receptacle to a dedicated circuit.
  - c Refer to the surface mounted raceway in rooms 274 and 275: Provide vertical raceway to match, as necessary, to conceal wiring to above accessible ceiling spaces.
  - d Revise General Note 6 – Data wiring and receptacles by Owner. Conduit and boxes by electrical contractor.
  - e Refer to Panel 3F2: Change to recessed double tub with 84 spaces for breakers (breakers to be provided as before to serve new and existing loads). Mount in West wall of Open Office 231 (common to Office 241).
  - f At new Server Room 284 (refer to item 5c above), divide/adjust wall mounted power/data strip for new wall location.
18. Drawing E102, Electrical Power Second Floor Plan
  - a Refer to the floor boxes in Court Room 301: Add space for the Owner's Court Sound System wiring and connections.
  - b Revise General Note 5 – Data wiring and receptacles by Owner. Conduit and boxes by electrical contractor.
  - c Refer to Panel 3S2: Change to recessed double tub with 84 spaces for breakers (breakers to be provided as before to serve new and existing loads). Mount in West wall of Corridor 326 (common to Reception 327).
19. Drawing E150, Electrical Power – Details
  - a Refer to the Data Installation Detail, Clarification: It is intended that data wiring, which is provided by the Owner, be installed in conduit where installed in walls or other inaccessible locations. Conduit and boxes for this system are to be provided by the Contractor as a part of this project.
20. Drawing E201, Electrical Lighting – First Floor Plan
  - a At new Server Room 284 (refer to item 5c above), install occupancy sensor/switch for control of light fixture within this room.
21. Drawing E250, Electrical Lighting Schedules
  - a Add Exit signs to the luminare schedule. Exit signs shall be SURE-LITES CAR620000RB, LED. Refer to plans and existing conditions to provide mounting from ceiling or wall as appropriate. If wall mounted provide surface mounted for existing walls, and recessed for new.
22. Drawing SS101
  - a Add Duress Switches (DS) to offices 201 and 203, and one at counter in Open Office 202.
  - b Duress Switches (DS) to be labeled with Keyed Note 1 and 5, typical.

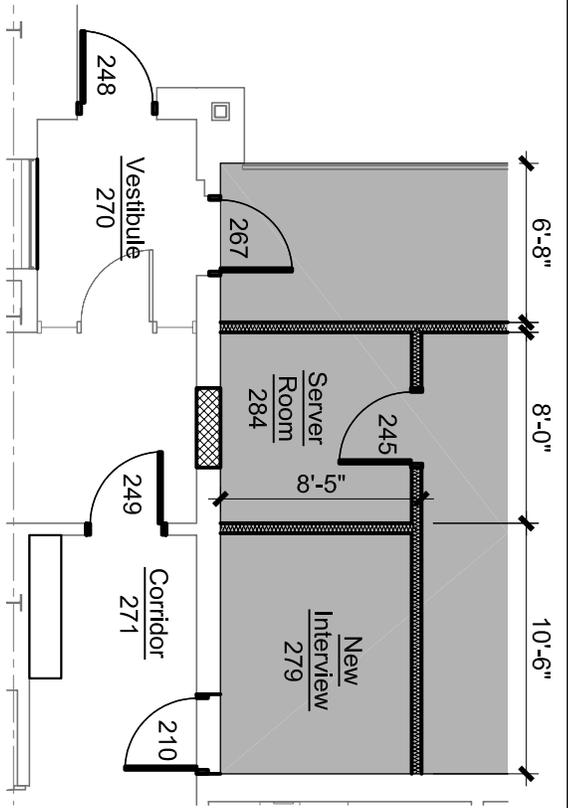
23. Drawing SS102
  - a Duress Switches (DS) to be labeled with Keyed Note 1 and 5, typical.
24. Drawings SS Security Systems General Clarifications
  - a The one-line diagrams shown on Sheet SS250 are generic in nature and should be modified by the provider to reflect the required components for their system. As noted on SS102 cameras C312A, B, C313A, B, and C314 are a part of the extension of the existing jail security system and are not included in the work of this project. The location of the “head end gear” for this system is currently noted to be in the main electrical room in the basement. The Owner may choose to locate this equipment anywhere in the renovation area at no additional cost to the project.
25. General Note: All plumbing, mechanical and electrical work (new and existing) that interferes with the structural support framing shall be removed and replaced as required.

End of Addendum One



### First Floor - Data Room

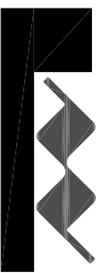
1/8" = 1'-0"



### First Floor - Information Services Area

1/8" = 1'-0"

- Server Room 284 Finishes:
- Floor: Carpet CPT-2
  - Base: Carpet CPTB
  - Walls: Paint P-1A
  - Ceiling: Acoustic Tile AC-2



Landmark Design Group, P.C.

3900 Linden Ave. S.E. Suite C  
Grand Rapids, MI 49548  
(616) 956-0806 (616) 956-9406

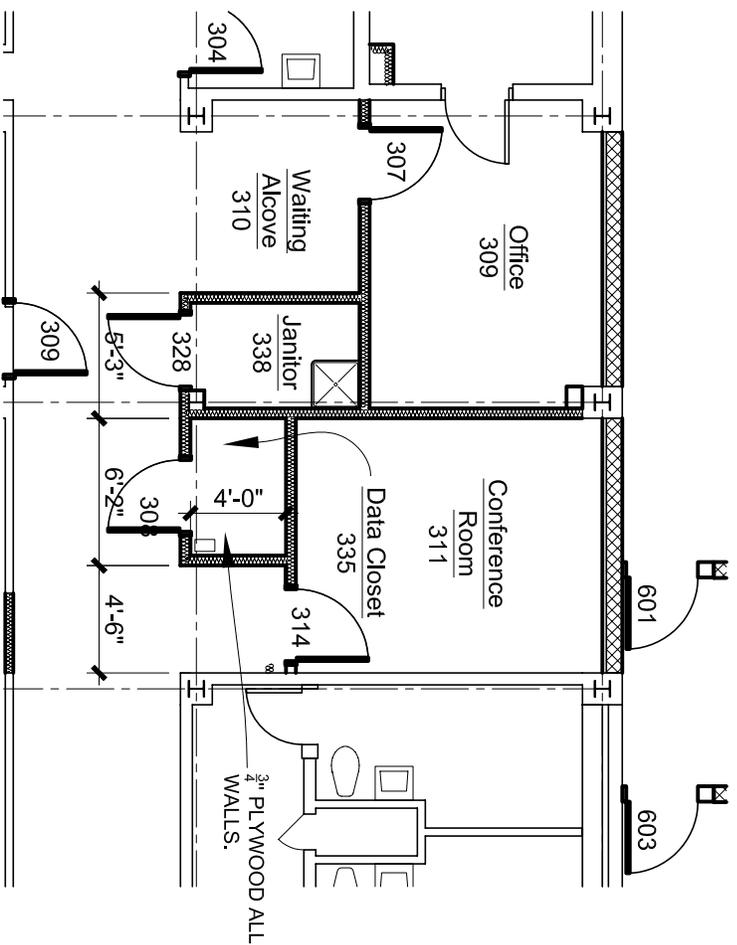
10-007

04-24-2012

Addendum No 1

Chippewa County

A1-A105-01



## Second Floor - Data Closet

1/8" = 1'-0"



Landmark Design Group, P.C.

A1-A106-01

3900 Linden Ave. S.E. Suite C  
Grand Rapids, MI 49548  
(616) 956-0806 (616) 956-9406

10-007

04-24-2012

Addendum No. 1

Chippewa County